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12. To ensure compliance with EW31 fire safety forms, an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
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15. All Cladding & building attachments to be all A1 fire rated.
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Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND

- SITE BOUNDARY
- EXISTING BUILDINGS TO BE DEMOLISHED
- PROPOSED NEW TREES
- PROPOSED HEDGING
- EXISTING TREES TO BE REMOVED
- OUTLINE OF ORIGINAL SUBMITTED SCHEME
- 5M X 5M PASSING AREA

G.	Planning officers comments	19-08-21	KU
F.	Planning officers comments	28-07-21	KU
E.	Planning officers / highways comments	14-07-21	KU
D.	Planning officers comments	30-06-21	KU
C.	Planning officers comments	20-05-21	KU
B.	Cycle store plans added	09-03-21	KU
A.	Site plan updated	03-03-21	KU

No.	Revision.	date	by
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16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

SITE, BLOCK, LOCATION PLANS &
CYCLE STORE PLANS

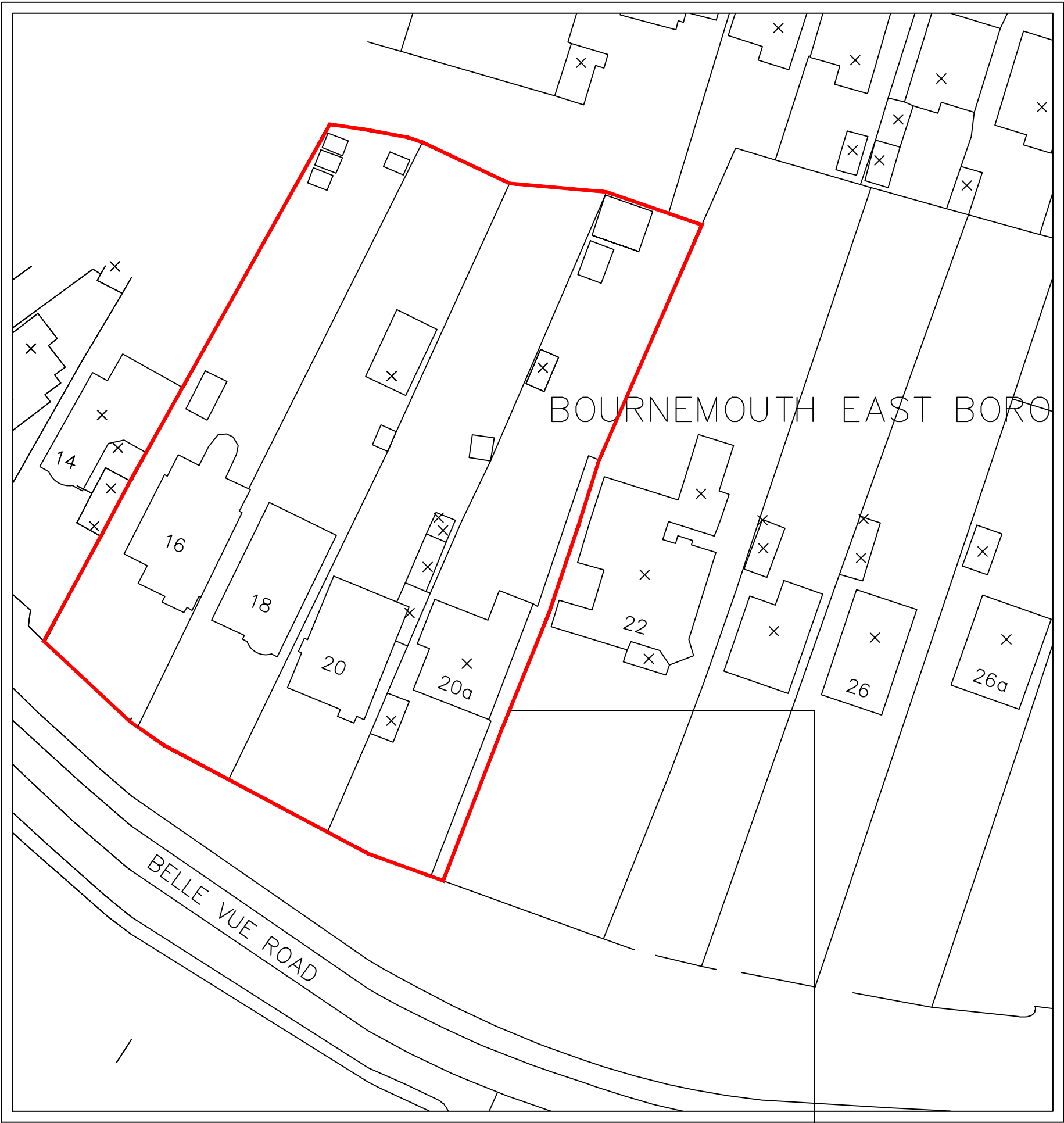
scale	AS SHOWN @ A1	checked	//
date	JANUARY 2021	drawn	KU

9358 / 100

ARC Architecture ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

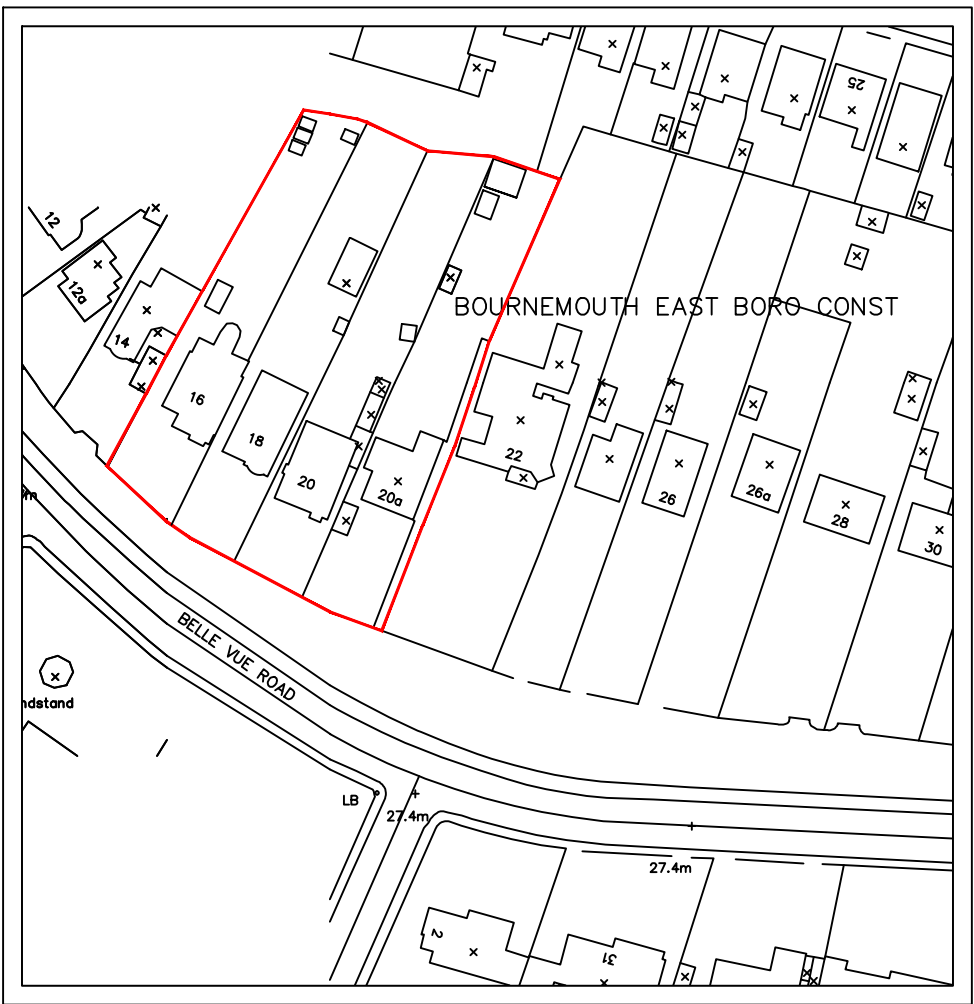
Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



EXISTING BLOCK PLAN
SCALE 1:500
BASED ON ORDNANCE SURVEY EXTRACT
(OS LICENCE NUMBER: 100007080)

25m @ 1:500

NOTE: MINOR DISCREPANCY BETWEEN
TOPOGRAPHICAL SURVEY & ORDNANCE SURVEY
INFORMATION.
(RED LINE SHOWN IS TAKEN FROM TOPO SURVEY)



EXISTING LOCATION PLAN
SCALE 1:1250
BASED ON ORDNANCE SURVEY EXTRACT
(OS LICENCE NUMBER: 100007080)

50m @ 1:1250

REQUIREMENT FOR SPRINKLER/ EXTERNAL DRY RISER
ARRANGEMENT TO BE AGREED WITH BUILDING
CONTROL & FIRE OFFICER.

SITE AREA = 0.352 HECTARES / 0.871 ACRES

23 X PARKING SPACES FOR FLATS
6 X PARKING SPACES FOR BUNGALOWS

48 X CYCLE SPACES (BLOCK A & B)
12 X CYCLE SPACES FOR BUNGALOWS
4 X CYCLE SPACES FOR VISITORS

SCHEDULE OF ACCOMMODATION

BLOCK A = 10 X 2 BEDROOM FLATS & 1 X 3 BEDROOM FLAT
BLOCK B = 10 X 2 BEDROOM FLATS & 1 X 3 BEDROOM FLAT
PLOT 1 = 3 BEDROOM BUNGALOW
PLOT 2 = 3 BEDROOM BUNGALOW
PLOT 3 = 3 BEDROOM BUNGALOW

TOTAL PROPOSED GIA FOR CIL @ 1.5M HEADROOM = 1962.6 SQM

EXISTING GIA TO BE DEMOLISHED = 869.7 SQM



PROPOSED SITE PLAN
SCALE 1:200
BASED ON TOPOGRAPHICAL SURVEY INFORMATION

10m @ 1:200



PROPOSED FRONT / SOUTH WEST ELEVATION
SCALE 1:100

PROPOSED SIDE / NORTH WEST ELEVATION
SCALE 1:100



PROPOSED REAR / NORTH EAST ELEVATION
SCALE 1:100

PROPOSED SIDE / SOUTH EAST ELEVATION
SCALE 1:100

NOTES

rev-11-2-21

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LEGEND

MATERIAL SCHEDULE:

- WALLS :
1. RED BRICK
- ROOF :
1. SLATE EFFECT TILES
- WINDOWS :
1. UPVC SASH

10m @ 1:100



REQUIREMENT FOR SPRINKLER/ EXTERNAL DRY RISER
ARRANGEMENT TO BE AGREED WITH BUILDING
CONTROL & FIRE OFFICER.

D.	Planning officers comments	19-08-21	KU
C.	Planning officers comments	14-07-21	KU
B.	Planning officers comments	30-06-21	KU
A.	Planning officers comments	20-05-21	KU

No.	Revision.	date	by
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16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

BLOCK A - PROPOSED ELEVATIONS

scale	AS SHOWN @ A1	checked	//
date	JANUARY 2021	drawn	KU
		A, B, C, D,	

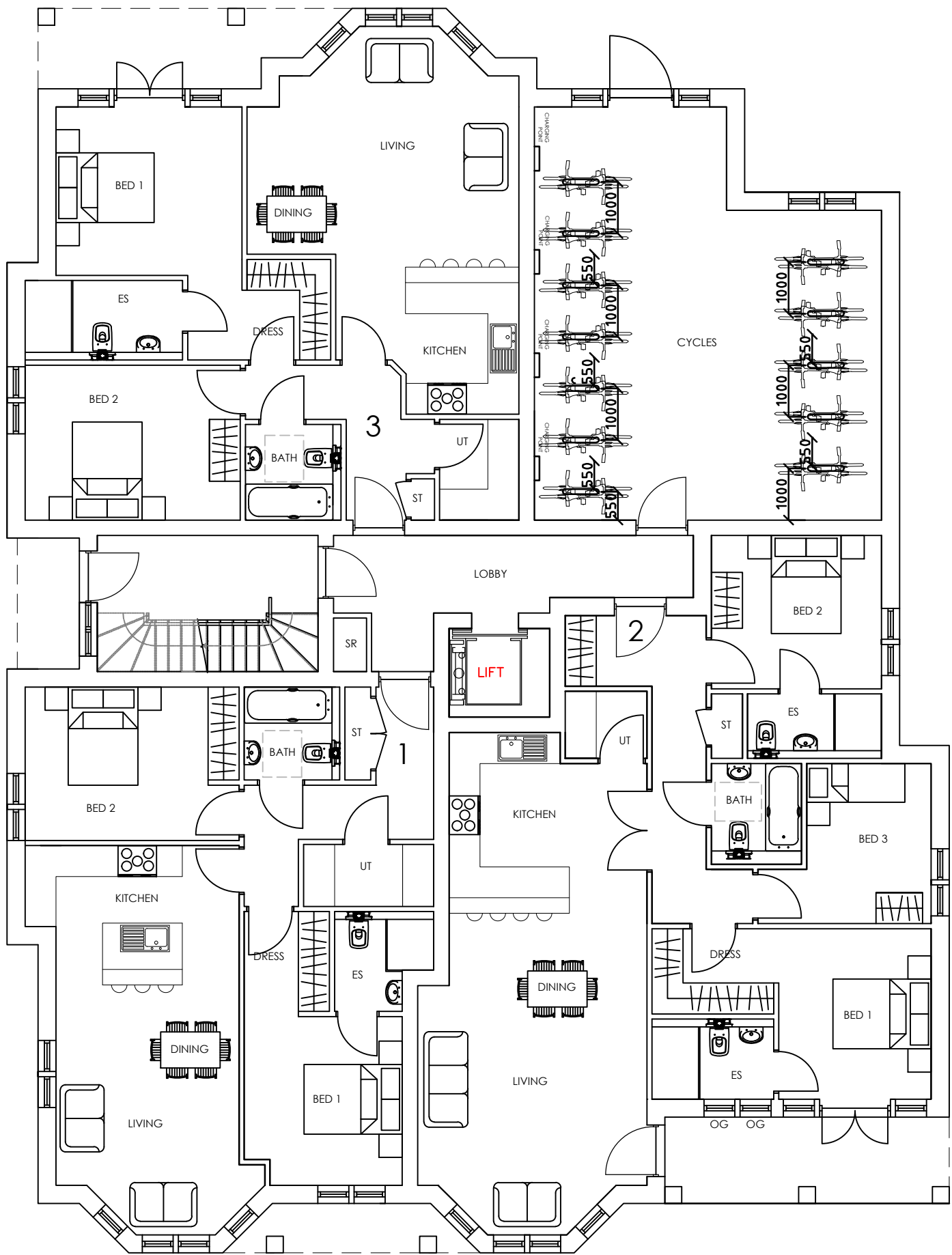
9358 / 102

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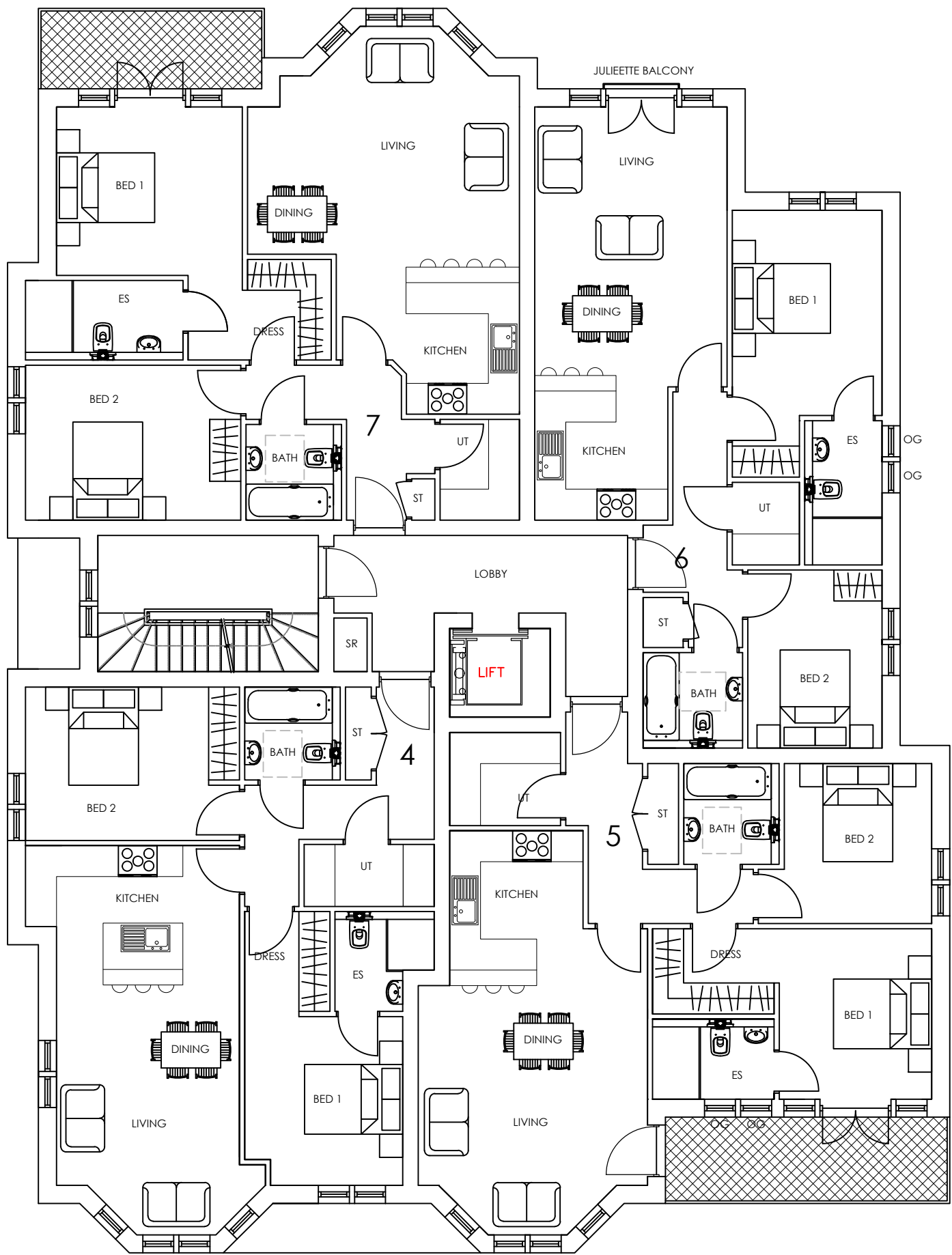
Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0)1202 479919
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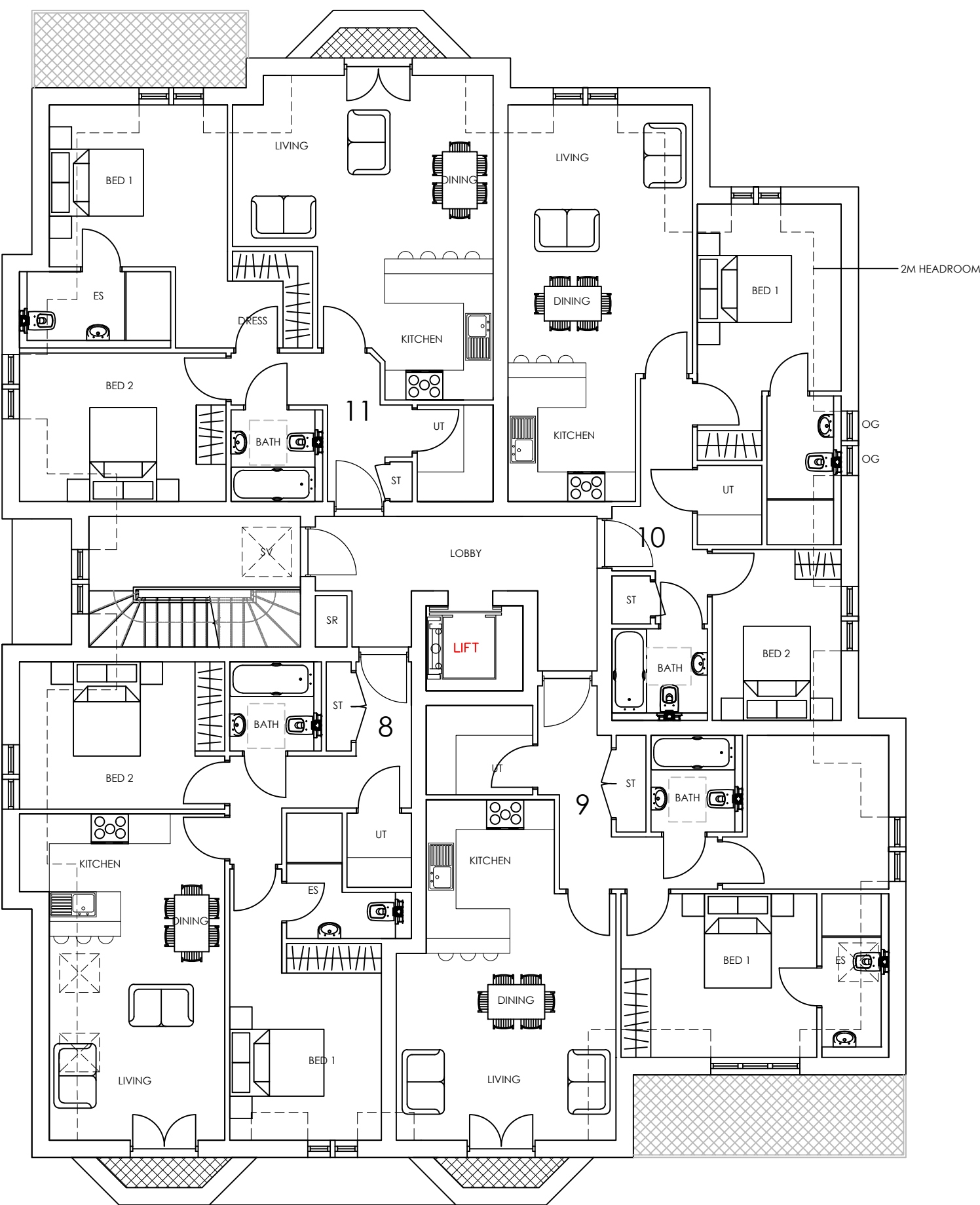




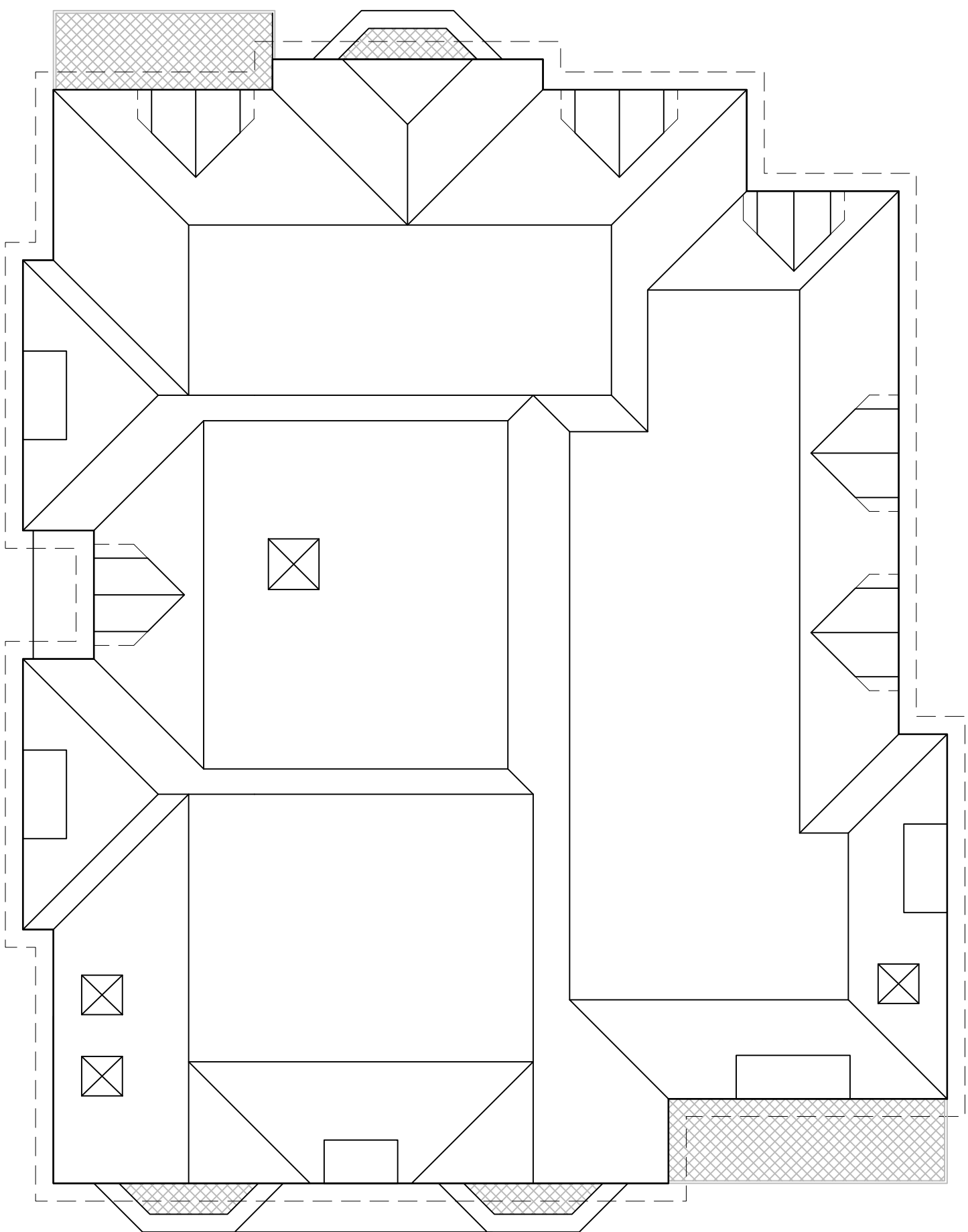
PROPOSED GROUND FLOOR
SCALE 1:100



PROPOSED FIRST FLOOR
SCALE 1:100



PROPOSED SECOND FLOOR
SCALE 1:100



PROPOSED ROOF PLAN
SCALE 1:100

NOTES

rev-11-2-21

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LEGEND

UNIT NO.	BEDS	SQM	SQFT
UNIT 1	2 BED	73.2	787
UNIT 2	3 BED	95.8	1031
UNIT 3	2 BED	79.7	857
UNIT 4	2 BED	73.2	787
UNIT 5	2 BED	74.3	799
UNIT 6	2 BED	68.2	734
UNIT 7	2 BED	79.7	857
UNIT 8	2 BED	70.8	762
UNIT 9	2 BED	71.9	773
UNIT 10	2 BED	68.2	734
UNIT 11	2 BED	77.3	832
TOTAL SALABLE AREA		832.3	8953

10m @ 1:100



REQUIREMENT FOR SPRINKLER/ EXTERNAL DRY RISER ARRANGEMENT TO BE AGREED WITH BUILDING CONTROL & FIRE OFFICER.

C.	Planning officers comments	30-06-21	KU
B.	Planning officers comments	20-05-21	KU
A.	Ground floor plan revised	03-03-21	KU
No.	Revision.	date	by

16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

BLOCK B - PROPOSED FLOOR PLAN

scale	AS SHOWN @ A1	checked	//
date	JANUARY 2021	drawn	KU
9358 / 103		A, B, C.	

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk





PROPOSED FRONT / SOUTH WEST ELEVATION
SCALE 1:100

PROPOSED SIDE / NORTH WEST ELEVATION
SCALE 1:100



PROPOSED REAR / NORTH EAST ELEVATION
SCALE 1:100

PROPOSED SIDE / SOUTH EAST ELEVATION
SCALE 1:100

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rev-11-2-21

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LEGEND

MATERIAL SCHEDULE:

- WALLS :
1. RED BRICK
 2. RENDER
 3. BOARDING

- ROOF :
1. SLATE EFFECT TILES

- WINDOWS :
1. UPVC SASH

10m @ 1:100

REQUIREMENT FOR SPRINKLER/ EXTERNAL DRY RISER
ARRANGEMENT TO BE AGREED WITH BUILDING
CONTROL & FIRE OFFICER.

C.	Planning officers comments	14-07-21	KU
B.	Planning officers comments	30-06-21	KU
A.	Planning officers comments	20-05-21	KU

No.	Revision.	date	by
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16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

BLOCK B - PROPOSED ELEVATIONS

scale	AS SHOWN @ A1	checked	//
date	JANUARY 2021	drawn	KU

9358 / 104

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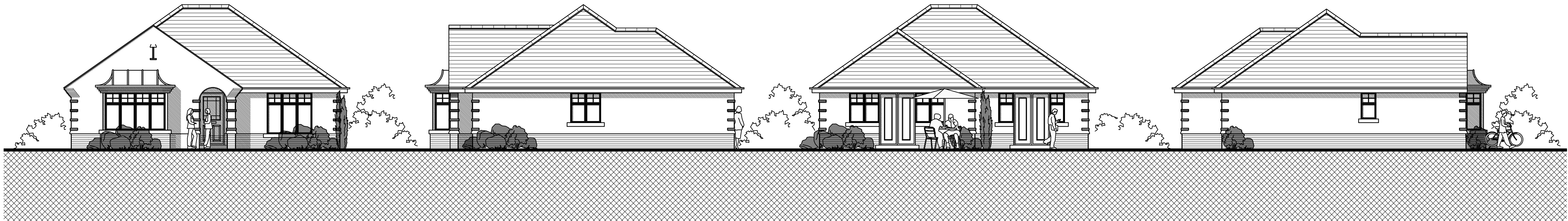


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LEGEND



PROPOSED FRONT / SOUTH WEST ELEVATION
SCALE 1:100

PROPOSED SIDE / SOUTH EAST ELEVATION
SCALE 1:100

PROPOSED REAR / NORTH EAST ELEVATION
SCALE 1:100

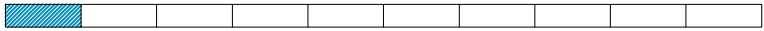
PROPOSED SIDE / NORTH WEST ELEVATION
SCALE 1:100

MATERIAL SCHEDULE:

- WALLS :
1. RED BRICK
 2. RENDER
- ROOF :
1. SLATE EFFECT TILES
- WINDOWS :
1. UPVC

PLOT NO.	BEDS	SQM	SQFT
PLOT 1	3 BED	97.6	1050
PLOT 2	3 BED	97.6	1050
PLOT 3	3 BED	91.7	979
TOTAL SALABLE AREA		286.9	3079

10m @ 1:100



REQUIREMENT FOR SPRINKLER/ EXTERNAL DRY RISER
ARRANGEMENT TO BE AGREED WITH BUILDING
CONTROL & FIRE OFFICER.

No.	Revision.	date	by
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16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

PLOT 1 PROPOSED PLANS & ELEVATIONS

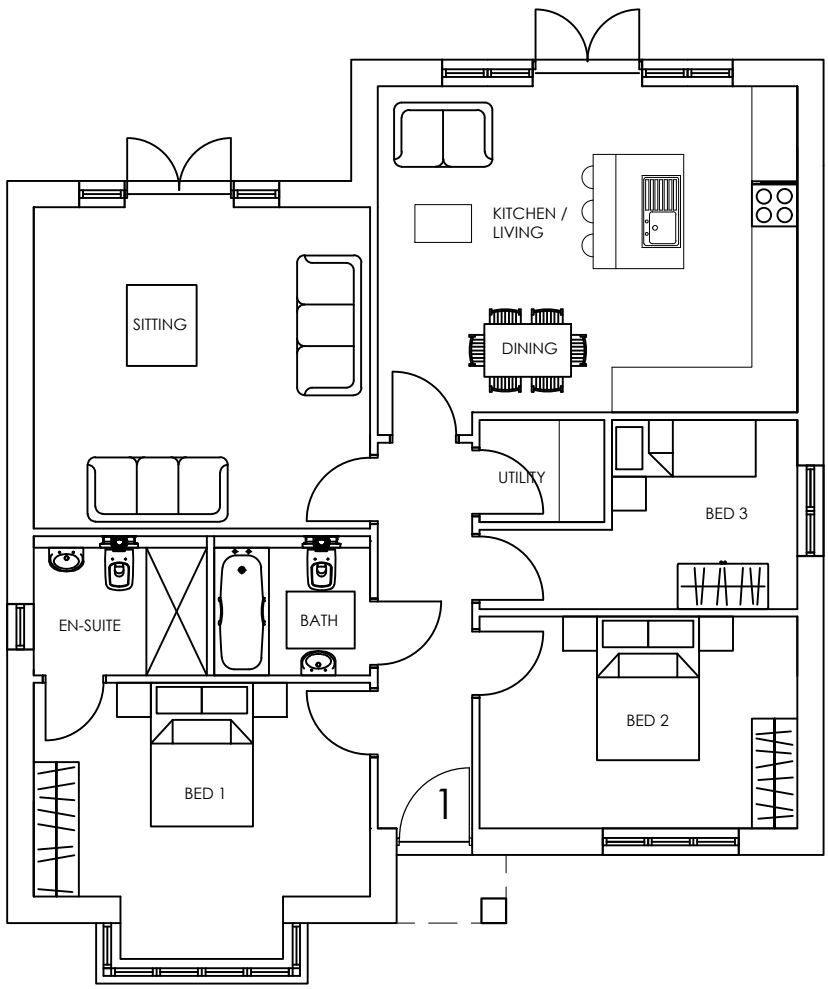
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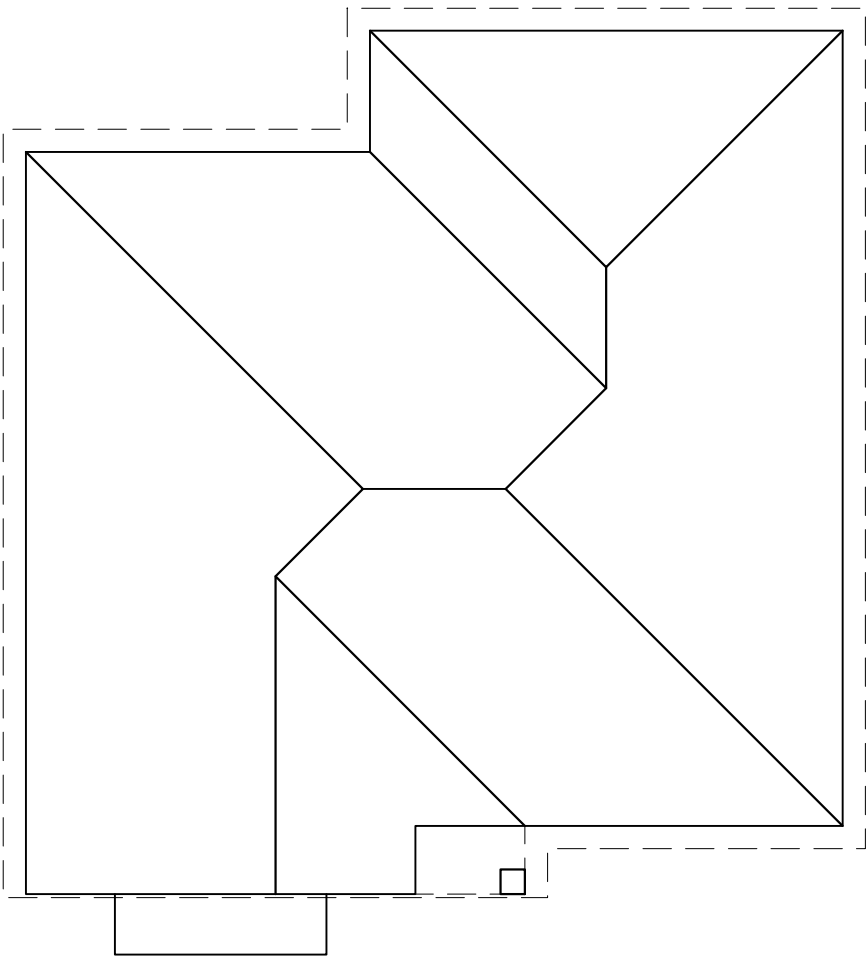
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PROPOSED GROUND FLOOR PLAN
SCALE 1:100



PROPOSED ROOF PLAN
SCALE 1:100

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PROPOSED FRONT / SOUTH WEST ELEVATION
SCALE 1:100

PROPOSED SIDE / SOUTH EAST ELEVATION
SCALE 1:100

PROPOSED REAR / NORTH EAST ELEVATION
SCALE 1:100

PROPOSED SIDE / NORTH WEST ELEVATION
SCALE 1:100

MATERIAL SCHEDULE:

- WALLS :
1. RED BRICK
2. RENDER
- ROOF :
1. SLATE EFFECT TILES
- WINDOWS :
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10m @ 1:100



REQUIREMENT FOR SPRINKLER/ EXTERNAL DRY RISER
ARRANGEMENT TO BE AGREED WITH BUILDING
CONTROL & FIRE OFFICER.

No.	Revision.	date	by
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16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

PLOT 2 PROPOSED PLANS & ELEVATIONS

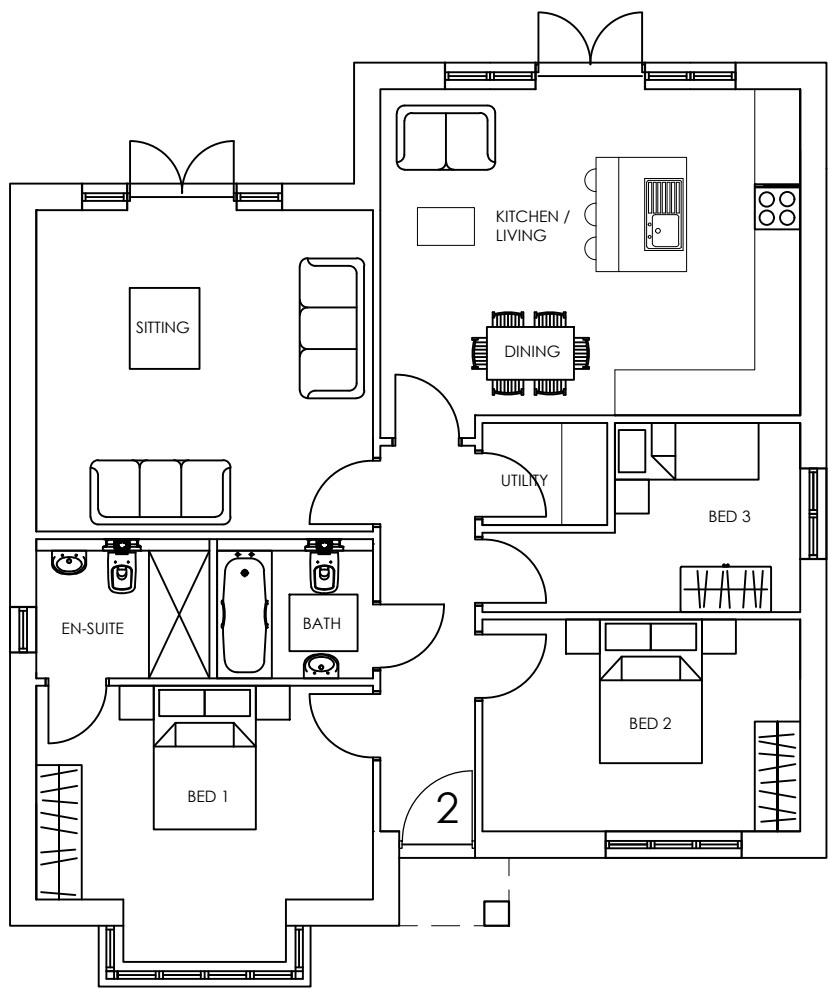
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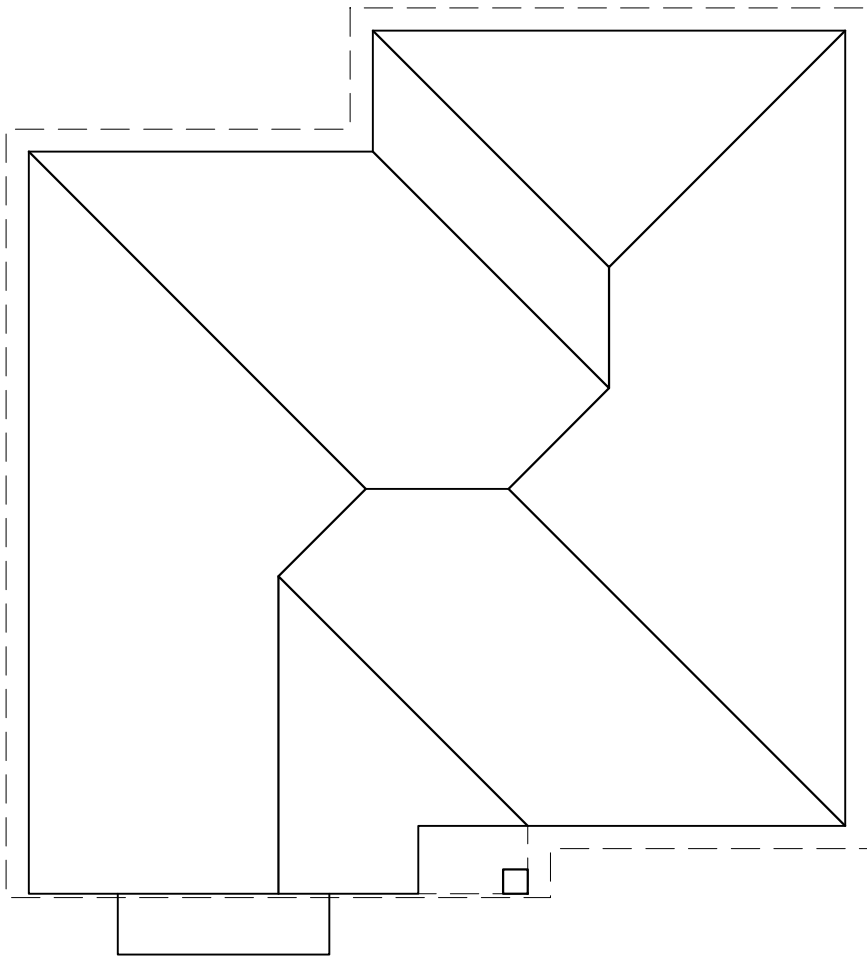
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PROPOSED GROUND FLOOR PLAN
SCALE 1:100



PROPOSED ROOF PLAN
SCALE 1:100

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12. To ensure compliance with EWS1 fire safety forms an independent and an appropriately qualified and insured fire consultant / engineer should be appointed by the client to ensure the finished project can be mortgaged.
13. A design and risk assessment should form part of our drawing package. If you have not received this from us by post, email or collection please contact us for a copy before moving forward with the project.
14. At planning stage planning drawings are to only to used for planning purposes.
15. Mechanical ventilation may be required to basement car parks and apartment lobbies.
16. All Cladding & building attachments to be A1 fire rated.

Note: Any design or details relating to Fire Safety, including under Part B of the Building Regulations is shown for indicative/information purposes only and is subject to appropriate external professional input. No assumption of any responsibility is accepted.

LEGEND



PROPOSED FRONT / SOUTH WEST ELEVATION
SCALE 1:100

PROPOSED SIDE / SOUTH EAST ELEVATION
SCALE 1:100

PROPOSED REAR / NORTH EAST ELEVATION
SCALE 1:100

PROPOSED SIDE / NORTH WEST ELEVATION
SCALE 1:100

MATERIAL SCHEDULE:

- WALLS :
1. RED BRICK
2. RENDER
- ROOF :
1. SLATE EFFECT TILES
- WINDOWS :
1. UPVC

PLOT NO.	BEDS	SQM	SQFT
PLOT 1	3 BED	97.6	1050
PLOT 2	3 BED	97.6	1050
PLOT 3	3 BED	91.7	979
TOTAL SALABLE AREA		286.9	3079

10m @ 1:100



REQUIREMENT FOR SPRINKLER/ EXTERNAL DRY RISER
ARRANGEMENT TO BE AGREED WITH BUILDING
CONTROL & FIRE OFFICER.

No.	Revision.	date	by
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16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

PLOT 3 PROPOSED PLANS & ELEVATIONS

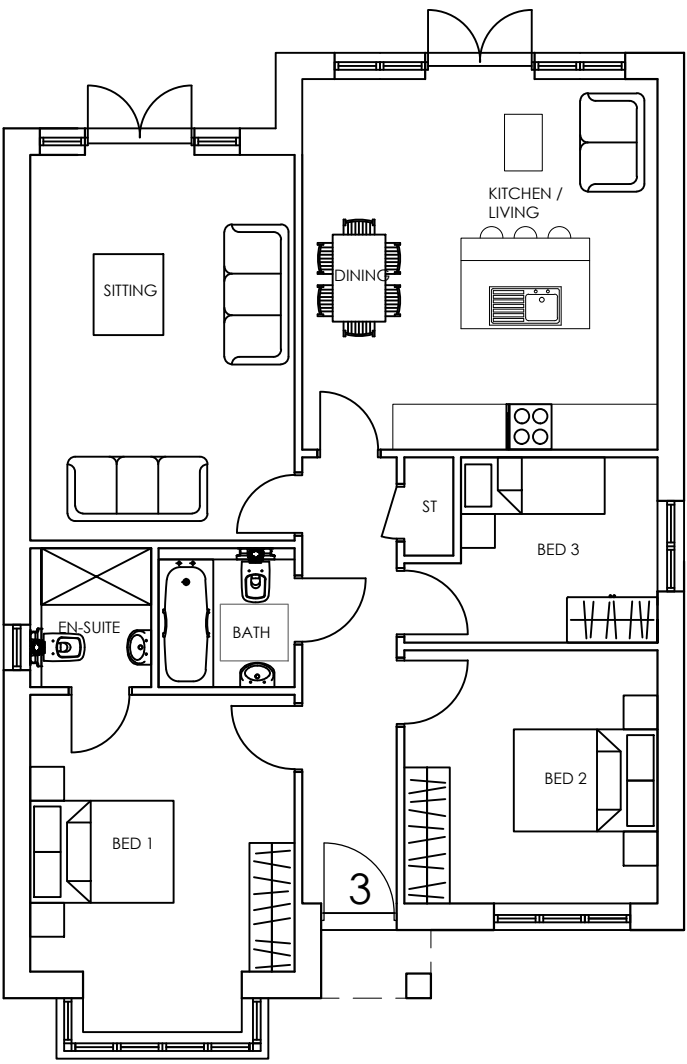
scale	AS SHOWN @ A1	checked	//
date	JANUARY 2021	drawn	KU

9358 / 107

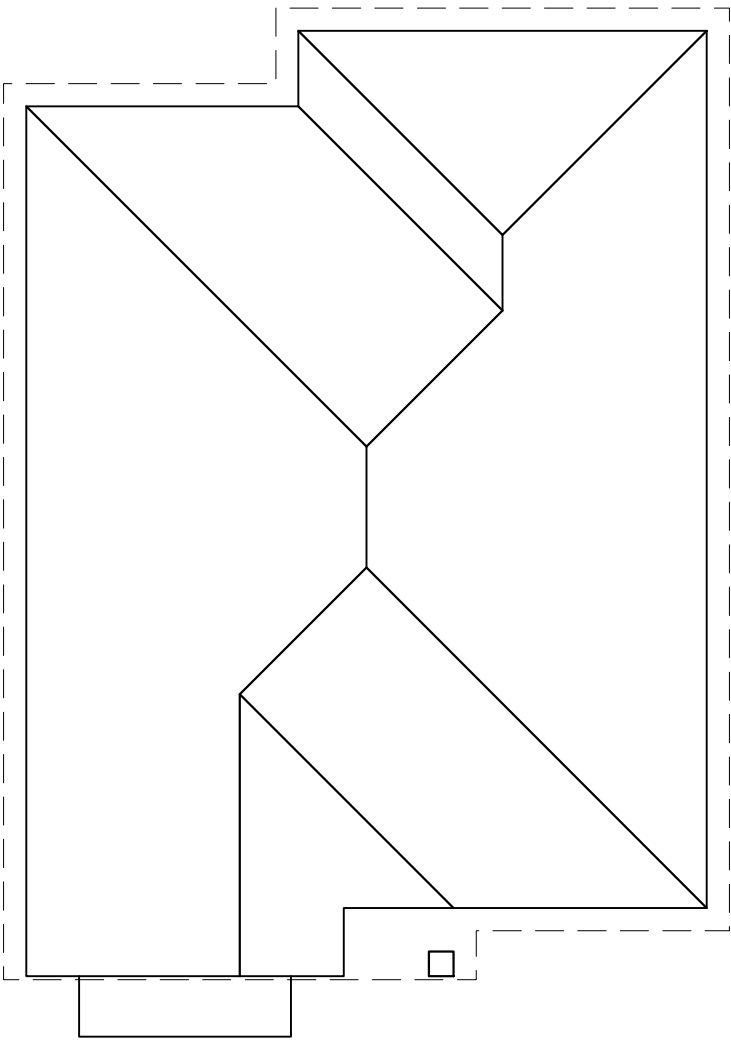
ARC Architecture ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

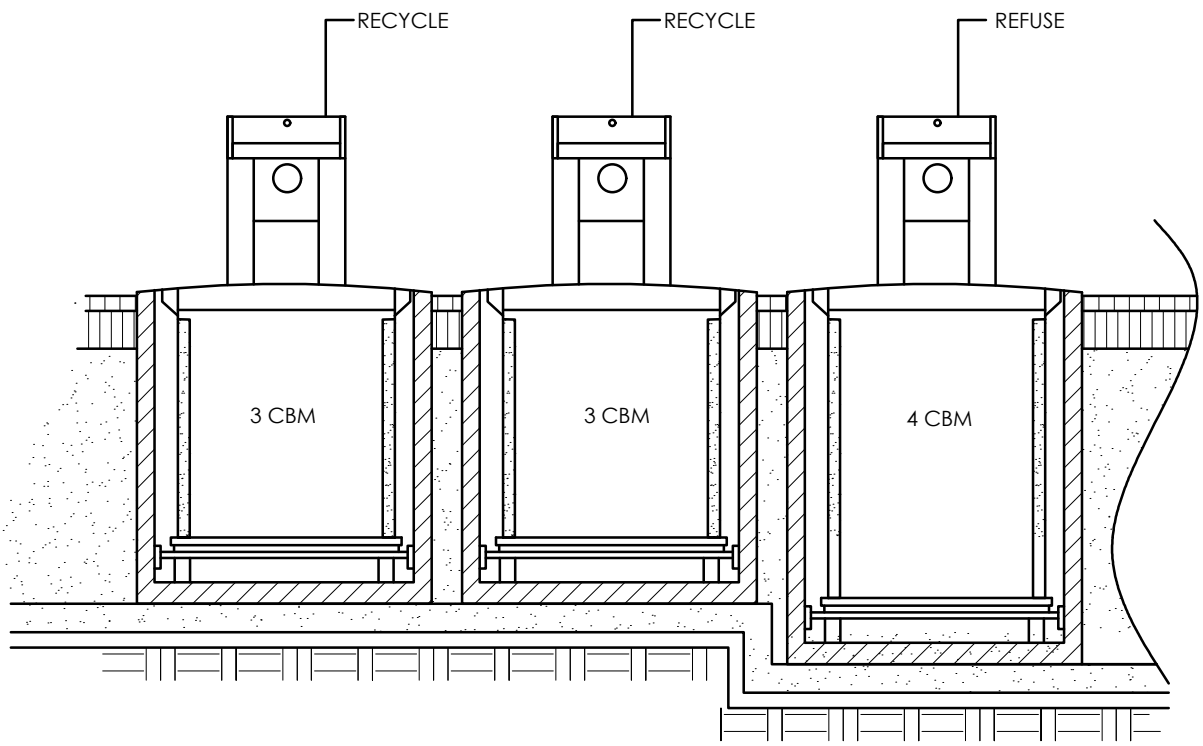
Tel: +44 (0)1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



PROPOSED GROUND FLOOR PLAN
SCALE 1:100

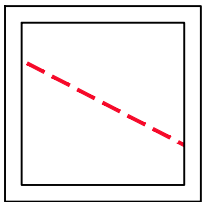
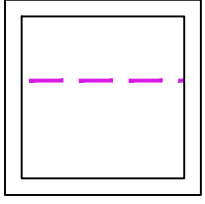
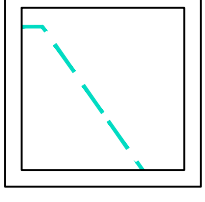
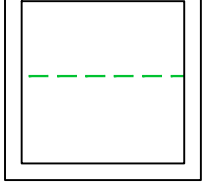


PROPOSED ROOF PLAN
SCALE 1:100



PROPOSED UNDERGROUND BIN SECTION
SCALE 1:50

LEGEND

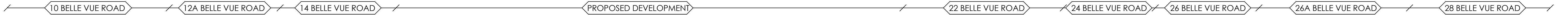
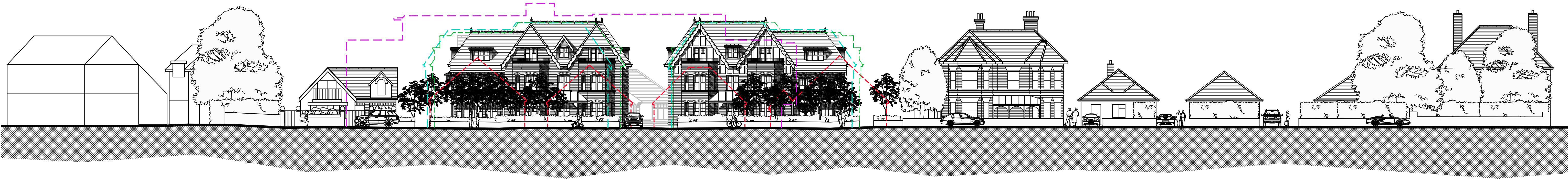
-  EXISTING BUILDINGS TO BE DEMOLISHED
-  OUTLINE OF PREVIOUSLY REFUSED SCHEME
-  OUTLINE OF PRE APPLICATION SCHEME
-  OUTLINE OF ORIGINAL SUBMITTED SCHEME

NOTES

rev-11-2-21

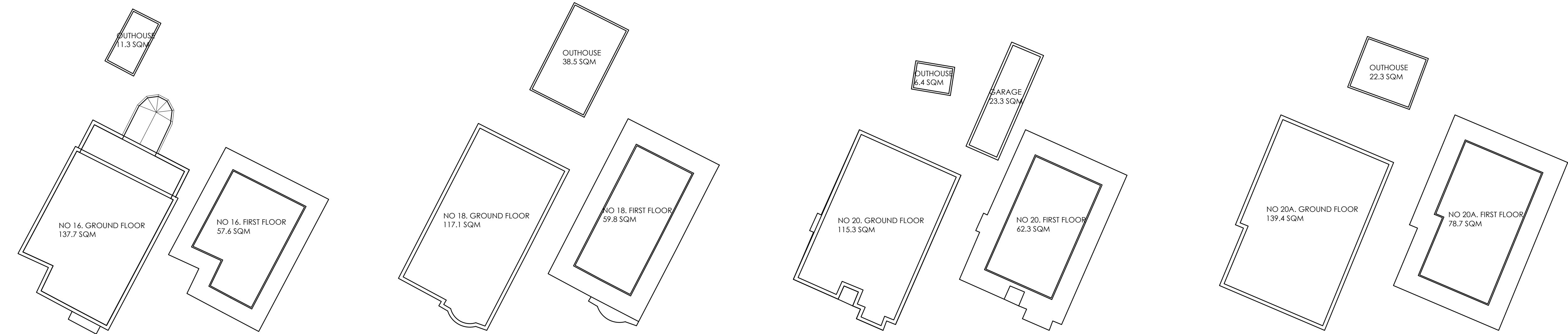
- The contents of this drawing are copyright.
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- At flat roofs to be fitted with a man safe system to satisfy CDM 2015 regulations unless written confirmation from Principle Designer/ Principle Contractor is provided to show alternative compliance has been sought and approved.
- Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building inc. basement car parks. Qualified fire consultant to confirm as part of fire safety report - to be instructed by client or contractor to cover all aspects of Fire Safety / Part B
- Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
- Star design to be independently checked by star fabricator for reg. compliance and sizing, prior to construction/ ordering. Dimensions to be checked before fabrication.
- MacLennan waterproofing specialists (or similar company with relevant PI insurance) to be instructed and detail all basement waterproofing designs - ARC carry no responsibility for basement designs in terms of waterproofing or structures in any way.
- "AS BUILT" drawings will only be issued upon request from the client/ contractor. All information within as built drawings is to be confirmed and provided by the client/ contractor. ARC Architecture do not perform regular site inspections to guarantee as built information so contractor or client must sign a letter from ARC to confirm compliance with our plans on site.
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PROPOSED STREET SCENE - FOR INDICATIVE PURPOSES ONLY
SCALE 1:200

10m @ 1:200



EXISTING BUILDINGS TO BE DEMOLISHED
SCALE 1:200

REQUIREMENT FOR SPRINKLER/ EXTERNAL DRY RISER
ARRANGEMENT TO BE AGREED WITH BUILDING
CONTROL & FIRE OFFICER.

EXISTING GIA TO BE DEMOLISHED = 869.7 SQM

E.	Planning officers comments	19-08-21	KU
D.	Planning officers comments	14-07-21	KU
C.	Underground bin store plans added	30-06-21	KU
B.	Planning officers comments	20-05-21	KU
A.	Street scene updated - cycle stores added	09-03-21	KU

No.	Revision.	date	by
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16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

PROPOSED STREET SCENE, UNDERGROUND
BIN SECTION & EXISTING PLANS

scale	AS SHOWN @ A1	checked	//
date	JANUARY 2021	drawn	KU

9358 / 108

A.	B.	C.	D.	E.

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk





PROPOSED SUDS PLAN
SCALE 1:200
BASED ON TOPOGRAPHICAL SURVEY INFORMATION
10m @ 1:200

DESIGNERS RISK ASSESSMENT

Building Products and Construction Execution Hazards

The design team have highlighted unusual and significant risks only that may not be obvious to a competent contractor. They are to assist with risk reduction only and are not necessarily comprehensive. It is assumed that all works will be carried out by a competent contractor following good site management, site practice procedures, to an approved method statement (where appropriate) and in accordance with HSE guidance.

The proposed works are designed on a well established method of construction which can be carried out by a competent contractor. However, should the contractor find any area of concern he must inform the designer in order that appropriate action can be taken.

For significant hazards specific to this project see the following:

GENERAL NOTES:

- Principal Contractor to provide method statements for the safe working practice for:
 - demolition, excavations, cutting of materials
 - support of adjacent structures, protecting personnel, neighbours & the public, working at height including crash bags & fall restraint systems.
- Principal Contractor to ensure Temporary Works Designer and Coordinator appointed for all propping works for structural alterations of existing building, including temporary guardrail and edge protection around voids and stairwells.
- This Designers Risk Assessment should be passed on to the Appointed Principal Designers

INFORMATION

CDM - PRE-CONSTRUCTION INFO FROM CLIENT

CDM Information requested from client:
1) Topographical Survey

Outstanding CDM information remains as residual risk, please request ARC appendix 5 for information requested.

Further design info to be provided at subsequent stages of design / building regulations process

CONSTRUCTION RISKS

- PROPOSED BUILDING IN CLOSE PROXIMITY TO BOUNDARY
- LARGE / HEAVY GLAZING UNITS

Safe construction method to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site.

PLACEMENT OF SUDS
When positioning heavy machinery – The layout of the proposed SUDS plan should be considered by the Principal Contractor during the construction phase plan

ROOFLIGHT SPECIFICATION
To be designed by specialist supplier to be structurally sound (where roof access is required), and to incorporate self cleaning glass

FLAT ROOF ACCESS

Roof access for construction to be undertaken by specialist using specialist equipment. e.g. scaffolding, appropriately designed and installed man safe system

PLACEMENT OF ROOF FEATURES (SOLAR PANELS / AOV'S / PLANT ETC)
Positioning of roof features to be as remote from edge of building as possible

PROXIMITY TO OVERHEAD SERVICES

Mitigation / Diversion to be considered by Principal Contractor within Construction Phase Plan, pre-construction works starting on site.

TIMBER FRAME - FIRE RISK
Construction to be reviewed by appointed fire consultant to ensure compliance with fire safety regulations during construction and in use. (Fire consultant to be qualified and insured to produce EWS1 approval.)

MAINTENANCE RISKS

CLEANING WINDOWS

Windows and balcony glass above ground floor level to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems.

CLEANING GUTTERS

Gutters to be cleaned from ground level by specialist using specialist equipment. e.g. long reach and clean systems.

STAINING TIMBERS

Maintenance to be undertaken by specialist contractor using appropriate scaffolding or safe access to timber boarding

CHANGING LIGHT BULBS

Lighting or electrical fixture above double height space to be maintained by specialist contractor using safe method e.g. scaffolding or lowering light fitting.

FLAT ROOF ACCESS

Roof access for maintenance to be undertaken by specialist using specialist equipment. e.g. permanent 950mm guarding / scaffolding / appropriately designed and installed man safe system by specialist designer.

IN - USE RISKS

FLOOD RISK

SUDS plan to be designed at building regulations phase to provide excess surface water drainage

PEDESTRIAN MOVEMENT

Ballards / Vehicular barriers to be installed at defined locations – TBC by specialist design and manufacturer

DEMOLITION RISKS

REFURBISHMENT AND DEMOLITION SURVEY

Hazardous material survey to undertaken prior to any on site works commencing – including stripping out.

TREE REMOVAL

Tree removal/ trimming works to undertaken prior to any on building works commencing by approved arboricultural surgeon. Waste to be removed from site responsibly.

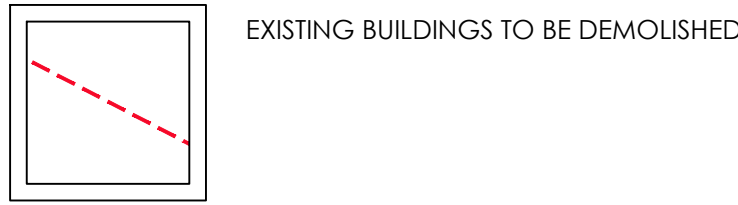
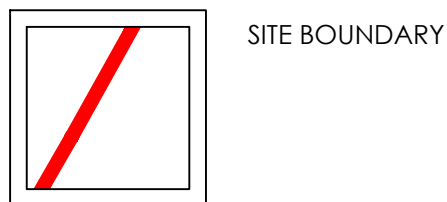
NOTES

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- Please note a sprinkler system and mechanical smoke extraction may be required in all or some areas of the building inc. basement car parks - Qualified fire consultant to confirm as part of fire safety report – to be instructed by client or contractor to cover all aspects of Fire Safety / Part B.
- Fixed shut fire safety glass windows may be required where windows are in close proximity to boundaries (subject to building regulations).
- Stair design to be independently checked by stair fabricator for regs. compliance and timing, prior to construction/ ordering. Dimensions to be checked before fabrication.
- Macalman waterproofing specialists (or similar company with relevant P insurance) to be instructed and detail of basement waterproofing designs. - ARC carry no responsibility for basement design in terms of waterproofing or structure in any way.
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LEGEND



TYPICAL MAINTENANCE PLAN	
MAINTENANCE	WHEN TO BE CARRIED OUT
<ul style="list-style-type: none">INSPECTION OF INLETS & OUTLETSREMOVAL OF LITTERGRASS CUTTING	MONTHLY
<ul style="list-style-type: none">REMOVAL OF SILT AROUND & IN COMPONENTSREMOVAL OF VEGETATION AROUND COMPONENTS	ANNUALLY

(SOAK-AWAY SIZE AND DESIGN SUBJECT TO GROUND CONDITION INVESTIGATION (TO BE CARRIED OUT BY SPECIALIST)
ALTERNATIVE SOLUTIONS SUCH AS AN ATTENUATION TANK MAY BE REQUIRED SUBJECT TO GROUND CONDITIONS - TO BE DESIGNED BY SPECIALIST)

SITE AREA = 0.352 HECTARES / 0.871 ACRES

E.	Planning officers comments	19-08-21	KU
D.	Planning officers comments	14-07-21	KU
C.	Floor plans updated	30-06-21	KU
B.	Planning officers comments	20-05-21	KU
A.	Floor plans updated	03-03-21	KU
No.	Revision.	date	by

16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

PROPOSED SUDS PLAN & DRA

scale	AS SHOWN @ A1	checked	//
date	JANUARY 2021	drawn	KU
9358 / 109		A, B, C, D, E, F	

ARC Architecture Ltd.

Chapel Studios, 14 Purewell,
Christchurch, Dorset, BH23 1EP

Tel: +44 (0) 1202 479919
E-mail: enquiries@andersrobertscheer.co.uk
Web: www.andersrobertscheer.co.uk



NOTES

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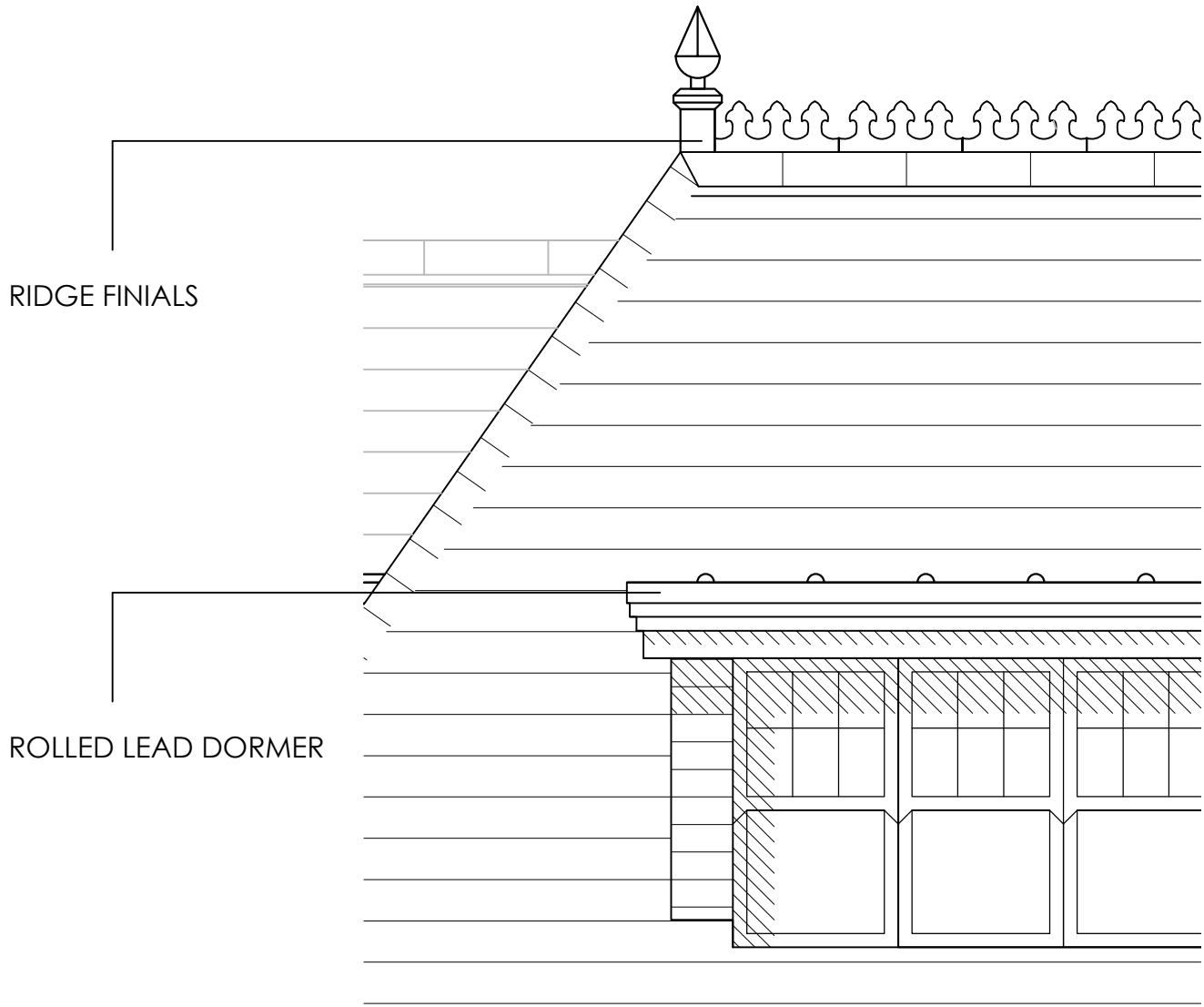
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LEGEND



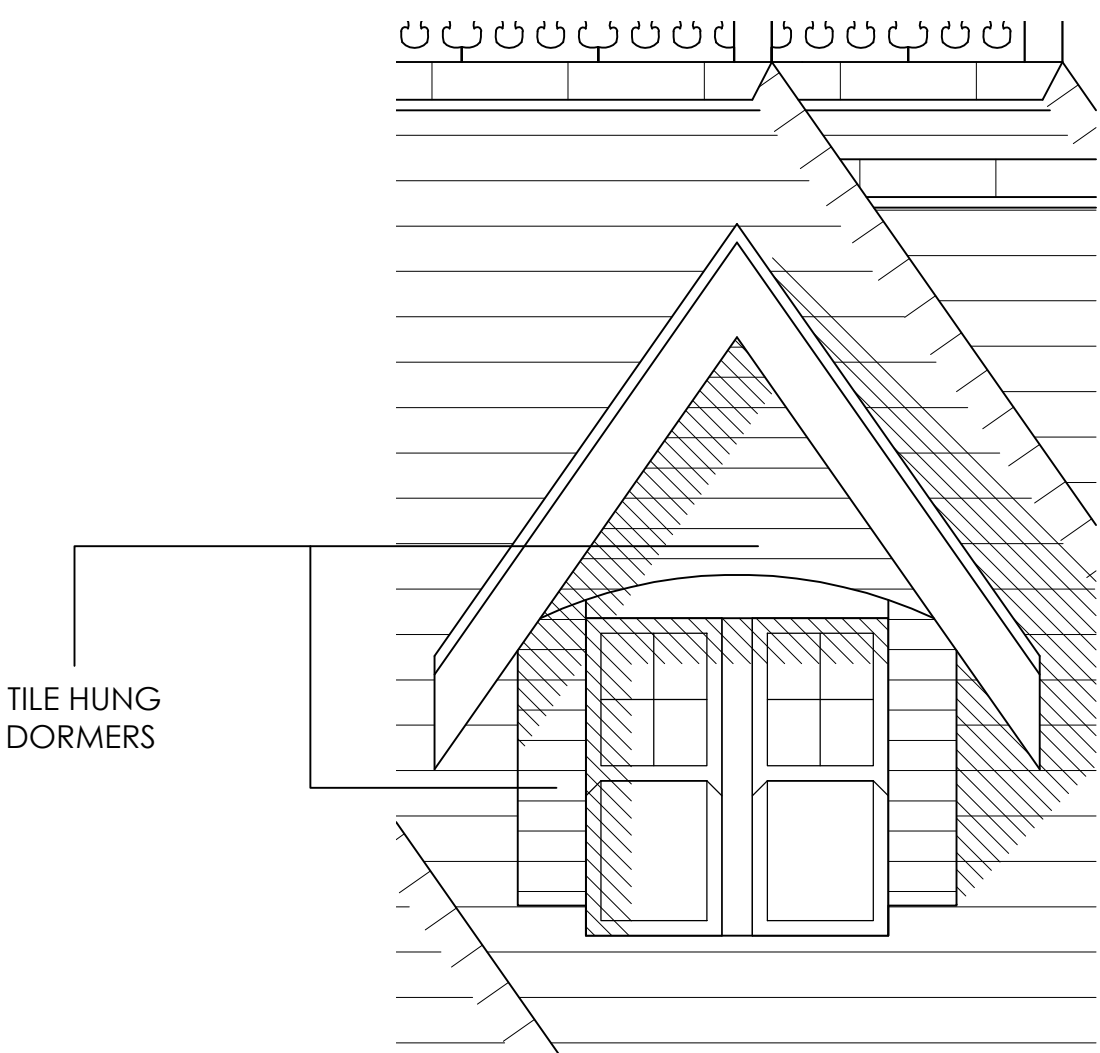
SCALE 1:25



SCALE 1:25



SCALE 1:25



SCALE 1:25

DECORATIVE BARGEBOARD

BRICK WINDOW HEADERS

STONE
DETAILING
AND CILLS

SCALE 1:25

A. Details updated 14-07-21 KU

No.	Revision.	date	by
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16-20A BELLE VUE ROAD
SOUTHBOURNE
BOURNEMOUTH
BH6 3DP

DETAILS

scale	AS SHOWN @ A1	checked	//
date	JUNE 2021	drawn	KU
9358 / 110		A.	

ARC Architecture Ltd.

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